

TECHNICAL INFORMATION REPORT

NGAMSIRIPOL PRASERT SFR

2755 73RD AVE SE; MERCER ISLAND, WA 98040



The Concept Group

4701 SW Admiral Way, Ste 353 • Seattle, WA 98116 • (206) 581-0853

Technical Information Report
NGAMSIRIPOL PRASERT SFR
 2755 73RD AVE SE
 MERCER ISLAND, WA 98040

I certify that this technical information report and all attachments were prepared either by me or my technical staff working directly under my supervision.



Date	Description
March 4, 2025	Original Submission

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MR 1 - STORMWATER SITE PLAN

Project Overview

The property is located at 2755 73RD AVE SE in the City of Mercer Island, Washington. The property is currently developed with a single-family residence. The project proposes to demolish the existing SFR to construct a new SFR with an attached garage, along with associated utilities and access driveway.

Site Information

Address: 2755 73RD AVE SE; City of Mercer Island, WA

Size: 9,041 sq ft (approximately 0.21 acre)

City, County, State: Mercer Island, King County, Washington

Governing Agency: City of Mercer Island

Design Criteria: 2019 Washington State Department of Ecology Stormwater Manual

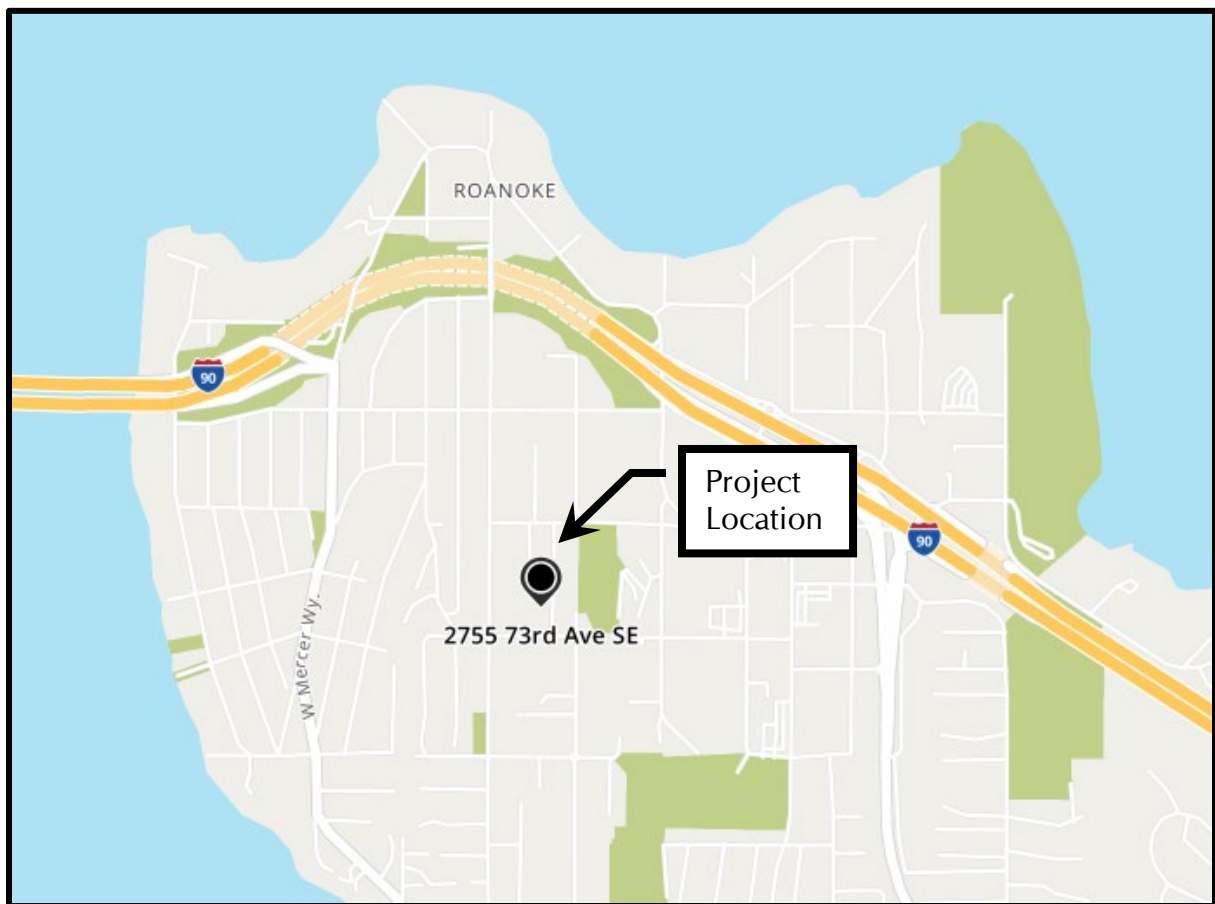


Figure 1 – Vicinity Map / Site Location (Not-to-Scale)

Drainage Basin

The property is located within the Mercer Island drainage basin. The entire property drains to one basin with a contributing area of approximately 0.21 acres. The general

topography of the site slopes from southwest to northeast. Elevations on the site vary from a high point of 288 feet at the southwestern property corner to 284 feet near the northeastern property line.

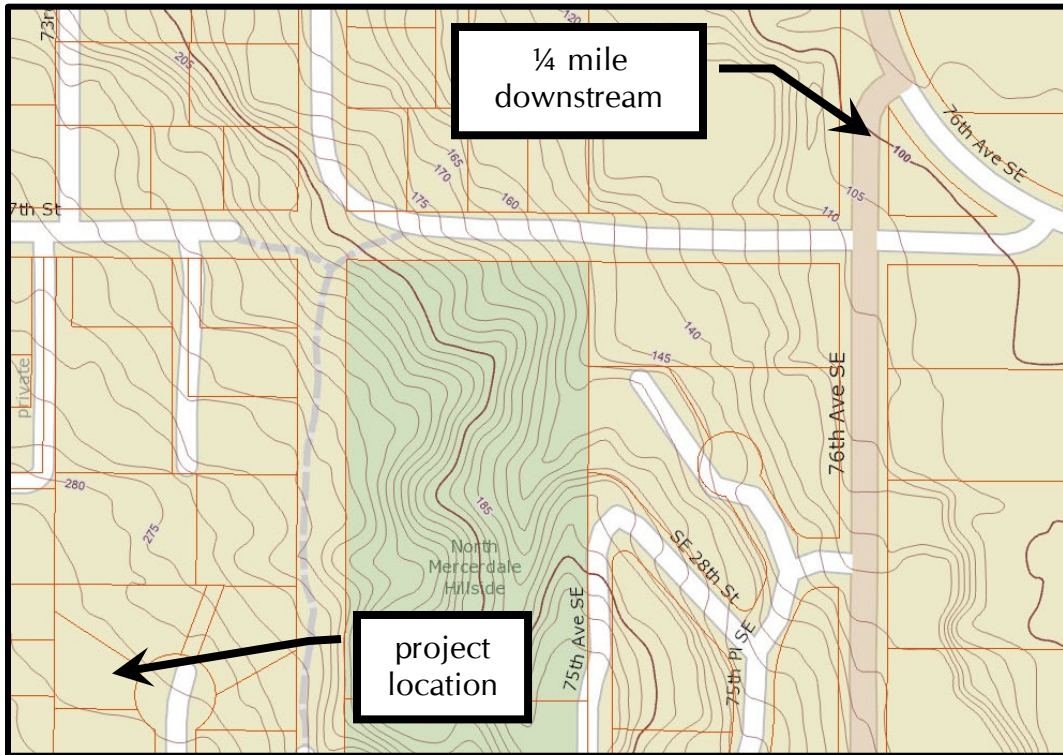


Figure 2 – Drainage Basin Map (Not-to-Scale)

Soils Information

The Soils Conservation Service (SCS) mapped the soils information in the project as Arents, Alderwood (AmC). This type of soil is moderately well drained. The SCS Hydrologic Soil Group is "C". Refer to Appendix A for additional soil information.

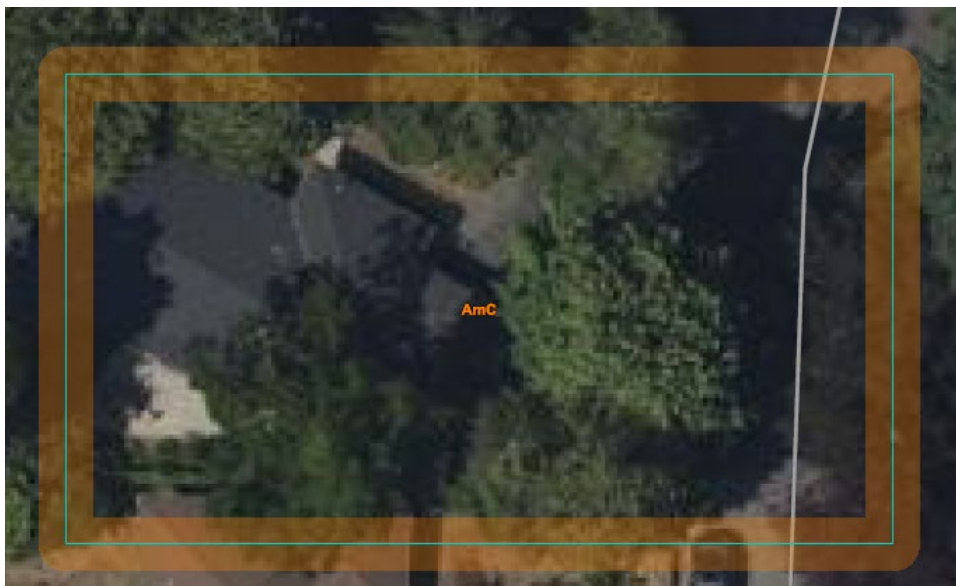


Figure 3 – Soils Map (Not-to-Scale)

Existing Conditions Summary

The site is currently developed with one single-family residence, associated garage, driveway, and landscaping. Vegetation consists of lawn and landscaping with evergreen and deciduous trees. The majority of the Site's runoff drains northeasterly and discharges to the closed storm pipe system located along 73rd Ave SE, creating one Natural Discharge Area (NDA). Existing impervious surface coverage is detailed in Table 1.

SFR	2,870
Walkway	776
Driveway	538
Total Impervious	4,184
Total Site Area	9,041
% Impervious	46.3%

More than 35% of the existing site is covered with impervious surface and therefore the threshold determination for this project is a "Redevelopment."

Proposed Conditions Summary

The project proposes to demolish the existing SFR to construct a new SFR with an attached garage, along with associated utilities and access driveway. Table 2 below outlines the projected build-out new impervious surface.

SFR	2,428
DADU	362
Driveway	1,160
Walkway	25
Total New Impervious Surface	3,975

Design Standards

The 2019 Stormwater Management Manual for Western Washington sets forth the drainage requirements for this project. More than 35% of the existing site is covered with impervious surface; therefore, the threshold for Re-Development project applies to this property.

Based on the flowchart of Figure 1-2.4.2 "Flow Chart for Determining Requirements for Redevelopment," No additional requirements apply to the new and replaced impervious surface or the converted pervious surface.

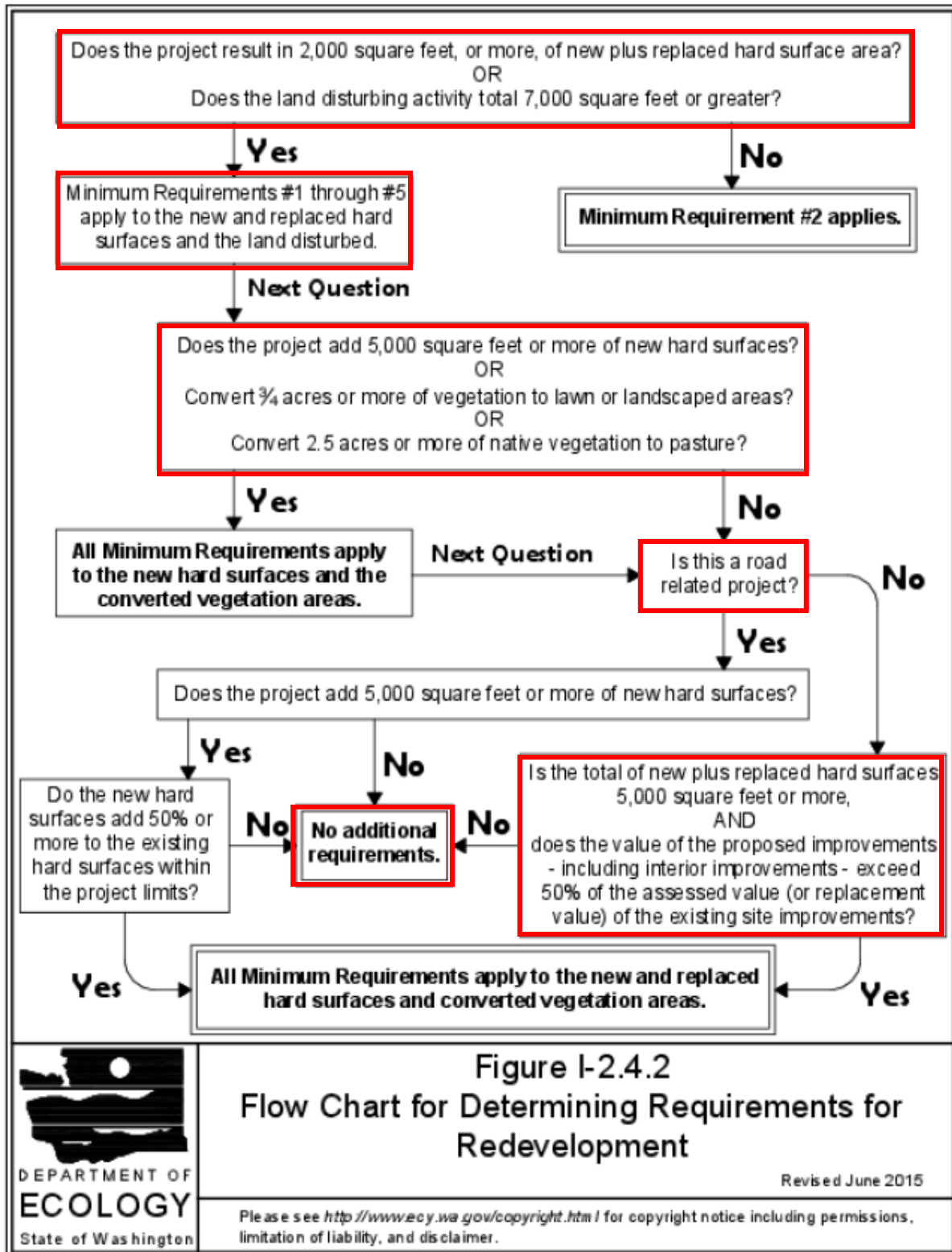


Figure I-2.4.2
Flow Chart for Determining Requirements for Redevelopment



Revised June 2015

Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

Offsite Analysis and Mitigation

Surface water runoff from impervious surfaces will be collected and conveyed to the city storm drain system located on 73rd Ave SE.

Upstream Analysis

The upstream properties are developed with single-family residences. The majority of the runoff from the upstream properties is collected by a curb and gutter system along 72nd Ave SE and SE 29th Street, therefore bypassing the Project site. Approximately 50,000 SF of the upstream properties contribute stormwater flow to the Project site.

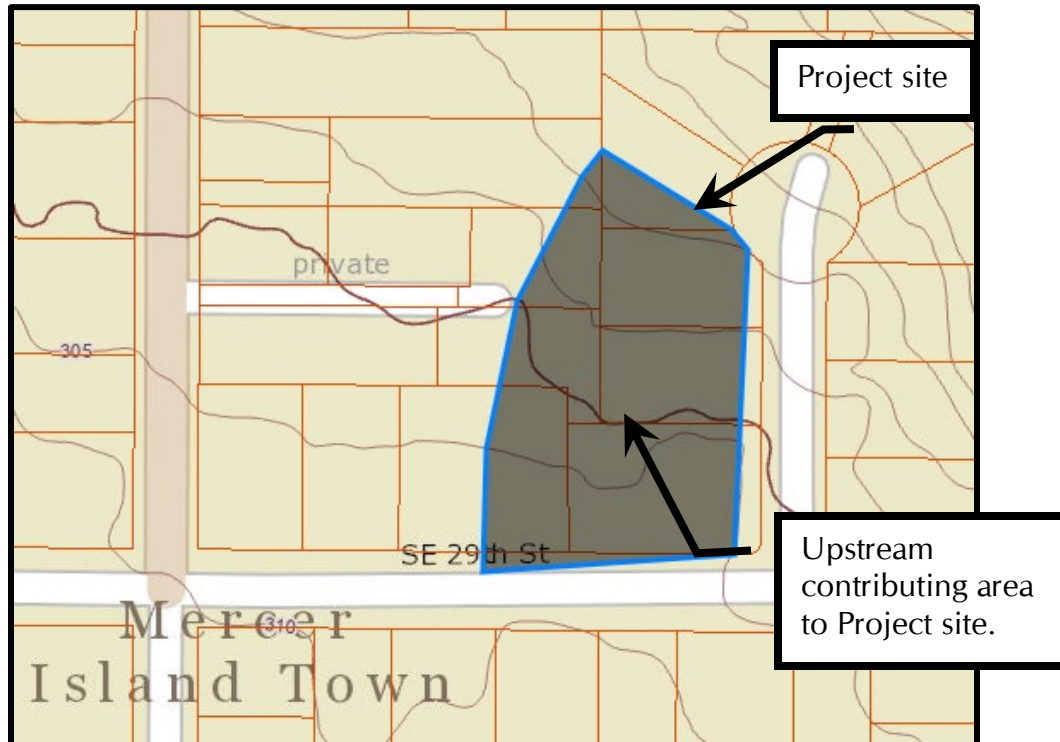


Figure 4 – Upstream Area Map (Not-to-Scale)

Downstream analysis

A Level 1 downstream analysis was performed on January 16, 2025. The weather was overcast with some light rain, temperatures in the mid-40° F.

Stormwater currently sheet flows northeast towards 73rd Ave SE where it enters catch basin #11-64 (Refer to Figure 5A). Stormwater continues to flow northeast, in a 12" polyethylene pipe (HDPE) for approximately 115 ft. It then continues to travel north along the western boundary trail within the North Mercerdale Hillside recreation area in a 12" PE for approximate 600 feet towards the intersection of SE 27th Street. It then travels east in a 15" HDPE pipe for approximately 125 feet, along SE 27th Street before entering a 15" ductile iron (DI) pipe and continuing to travel east for another 250 ft. It then continues east in a closed pipe network consisting of 12" HDPE and 12" concrete pipes for another 325 ft to the intersection of 76th Ave SE. It then turns north into a 24" concrete pipe and continues to travel beyond ¼ from the site.

are no apparent erosion or capacity problems within the downstream of this project to the point of discharge into Lake Washington.

MR 2 - SWPPP NARRATIVE

The Project will comply with the thirteen SWPPP elements during construction. An erosion control plan has been included in Appendix B.

Construction Sequence and Procedure

Prior to the start of any grading activity upon the site, all erosion control measures, including installation of a stabilized construction entrance, shall be installed in accordance with the construction documents.

The best construction practice will be employed to properly clear and grade the site and to schedule construction activities. The planned construction sequence for the construction of the site is as follows:

1. Flag or fence clearing limits.
2. Install catch basin protection if required.
3. Grade and install construction entrance(s).
4. Install perimeter protection (silt fence, brush barrier, etc.).
5. Construct sediment ponds and traps.
6. Grade and stabilize construction roads.
7. Construct surface water controls (interceptor dikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development.
8. Maintain erosion control measures in accordance with City of Bellevue standards and manufacturer's recommendations.
9. Relocate erosion control measures or install new measures so that as site conditions change the erosion and sediment control is always in accordance with the City of Bellevue Erosion and Sediment Control Standards.
10. Cover all areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw, wood fiber mulch, compost, plastic sheeting or equivalent.
11. Stabilize all areas that reach final grade within seven days.
12. Seed or sod any areas to remain unworked for more than 30 days.
13. Upon completion of the project, all disturbed areas must be stabilized and BMPs removed if appropriate.

Trapping Sediment

Structural control measures will be used to reduce erosion and retain sediment on the site. The control measures will be selected to fit site and seasonal conditions.

The following items will be used to control erosion and sedimentation processes:

- Temporary gravel construction entrance
- Filter fabric fences (silt fences)
- Ground cover measures such as straw cover and/or hydroseeding
- Inlet protection

Vehicle tracking of mud off-site shall be avoided. Installation of a gravel construction entrance will be installed at a location to enter the site. The entrances are a minimum requirement and may be supplemented if tracking of mud onto public streets becomes excessive.

MR 3 - WATER POLLUTION SOURCE CONTROL

This project is a residential development. All known, available, and reasonable source control BMPs will be applied to this Project.

MR 4 - PRESERVATION OF NATURAL DRAINAGE SYSTEMS AND OUTFALLS, AND PROVISIONS OF OFF-SITE MITIGATION

The natural drainage patterns will be maintained for this Project. Surface runoff will discharge within the same NDA.

MR 5 - ON-SITE STORMWATER MANAGEMENT

The project is required to provide on-site stormwater management.

Roof Surface

1. Full Dispersion / Infiltration:

- a. Full dispersion of runoff from impervious surfaces is not feasible due to insufficient area on the site for dispersion flow paths.
- b. Infiltration is not feasible. Per the City of Mercer Island GIS maps, the site is mapped as infeasible for infiltration. Refer to Figure 6.
- c. Rain garden / Bioretention BMPs are not feasible because horizontal setbacks which cannot be met after the footprint of the rain garden is accommodated. Rain gardens and bioretention facilities are required to have the following setbacks:
 - 10 ft setback from property lines
 - 10 ft from other infiltration facilities
 - 5 ft from building foundations with no proposed basement
 - 10 ft from building foundations with proposed basement
- d. Concentrated Downspout Dispersion Systems are infeasible because a vegetative flow path of 25 ft cannot be provided.
- e. Perforated Stub-out Connections: The project proposes a perforated pipe connection in accordance with Chapter D5 of the 2017 City of Bellevue Stormwater Manual and BMP T5.10C in Section 3.1.3 in Chapter 3 of Volume III of the DOE Manual. Stormwater from roof surfaces will be collected through a series of roof drain leaders, catch basins/yard drains and tight-lined to the on-site 10 FT infiltration trench which is connected to the public storm drain along 120th Avenue SE.

Lawn and Landscape Area Soil Management Plan

Within the limits of site disturbance, duff and topsoil will be retained in an undisturbed state and stockpiled for later use to stabilize and amend soils throughout the Site. Postconstruction soil amendment will meet the requirements of BMP T5.13 Post-Construction Soil Quality and Depth.

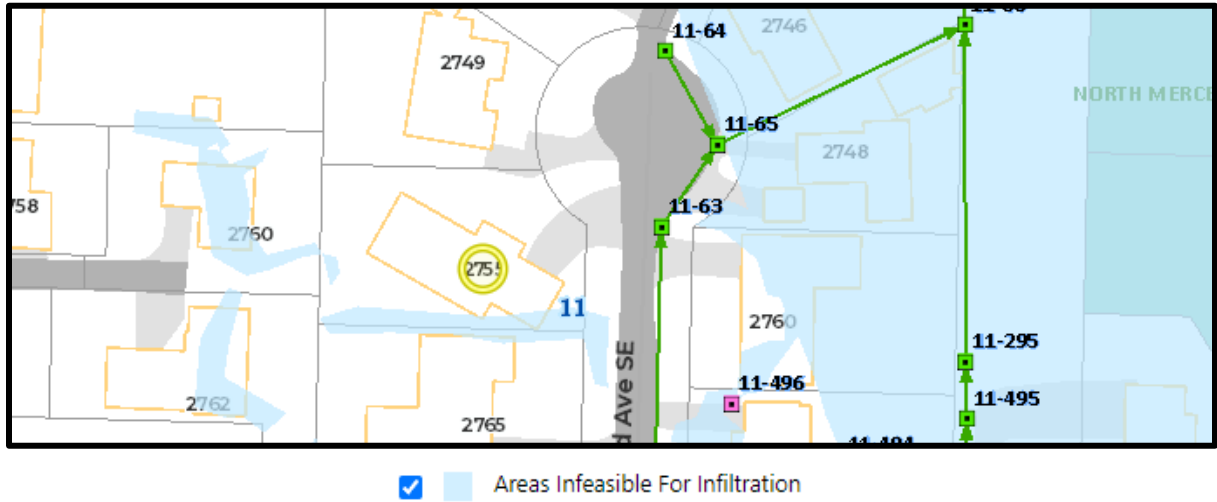
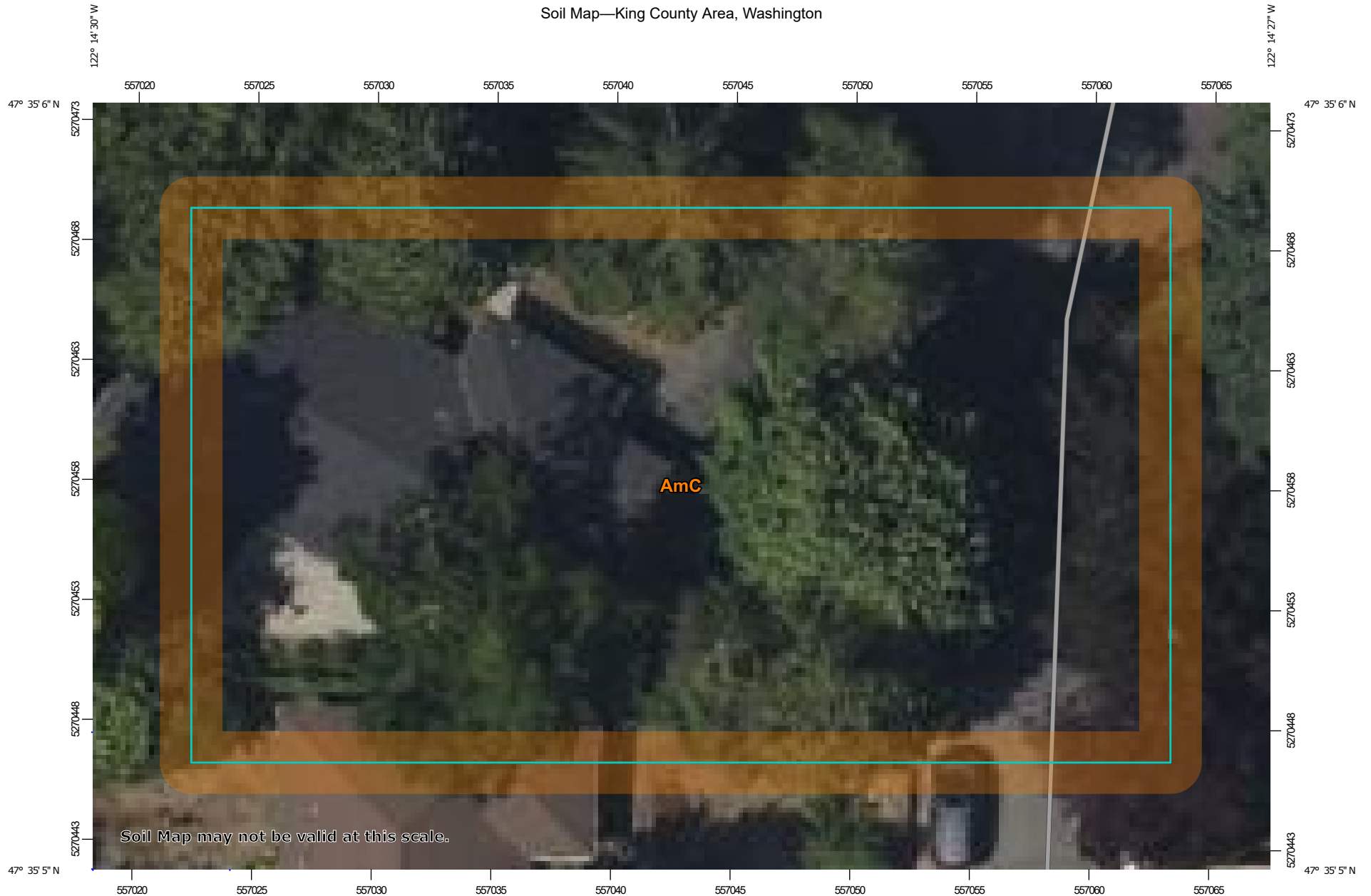


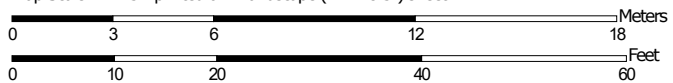
Figure 6 – LID Infeasibility Map (Not-to-Scale)

Appendix A Soil Data

Soil Map—King County Area, Washington



Map Scale: 1:225 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: King County Area, Washington

Survey Area Data: Version 20, Aug 27, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 1, 2023—Sep 1, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AmC	Arents, Alderwood material, 6 to 15 percent slopes	0.2	100.0%
Totals for Area of Interest		0.2	100.0%

King County Area, Washington

AmC—Arents, Alderwood material, 6 to 15 percent slopes

Map Unit Setting

National map unit symbol: 1hmsq

Elevation: 50 to 660 feet

Mean annual precipitation: 35 to 60 inches

Mean annual air temperature: 50 degrees F

Frost-free period: 150 to 200 days

Farmland classification: Prime farmland if irrigated

Map Unit Composition

Arents, alderwood material, and similar soils: 100 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Arents, Alderwood Material

Setting

Landform: Till plains

Parent material: Basal till

Typical profile

H1 - 0 to 26 inches: gravelly sandy loam

H2 - 26 to 60 inches: very gravelly sandy loam

Properties and qualities

Slope: 6 to 15 percent

Depth to restrictive feature: 20 to 40 inches to densic material

Drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately low (0.00 to 0.06 in/hr)

Depth to water table: About 16 to 36 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Very low (about 2.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4s

Hydrologic Soil Group: B/D

Hydric soil rating: No

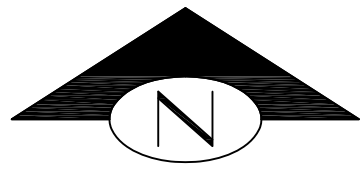
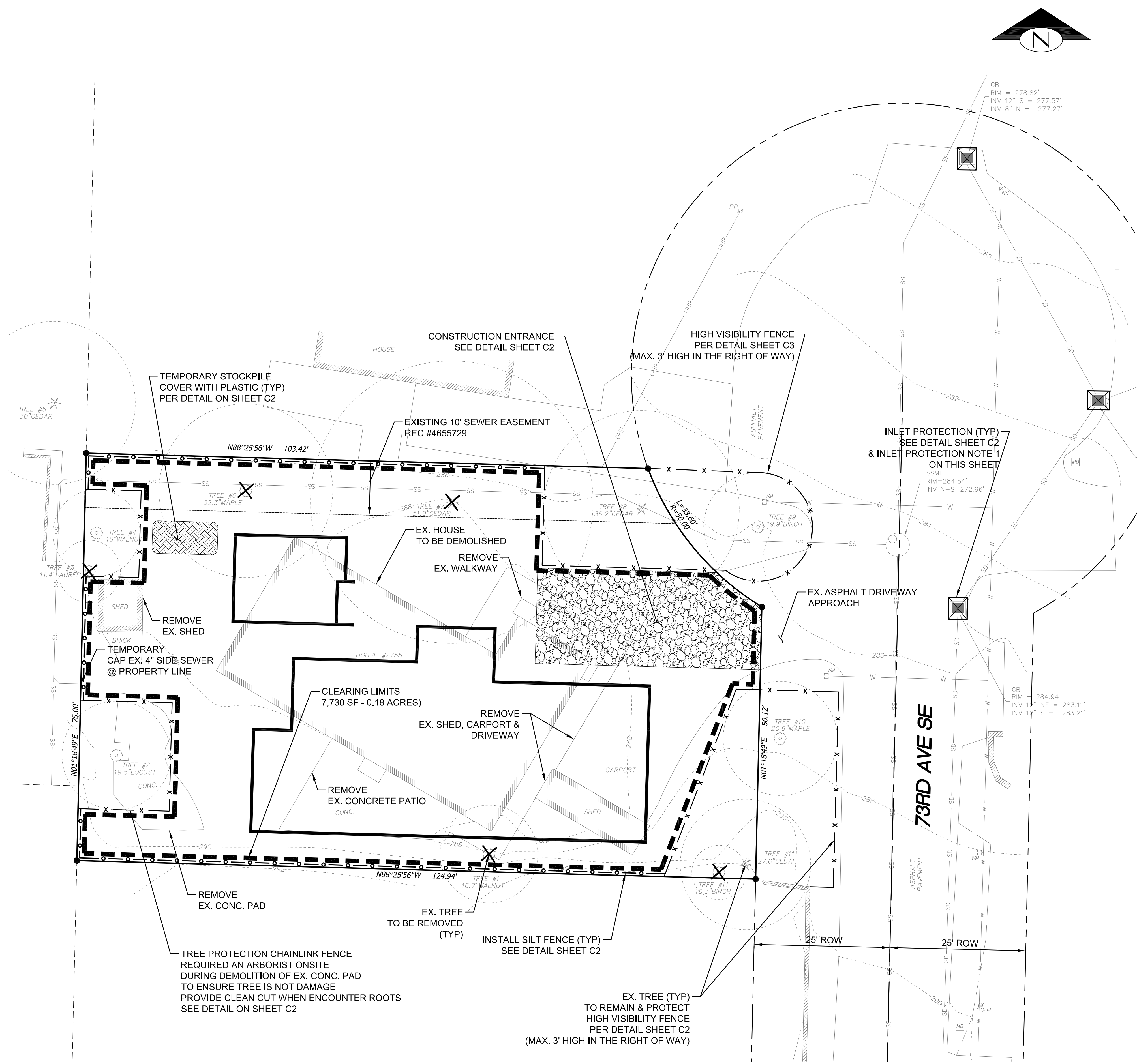
Data Source Information

Soil Survey Area: King County Area, Washington

Survey Area Data: Version 20, Aug 27, 2024

Appendix B Civil Plans

Jan 21, 2025 6:03pm pbgan L:\Working\24610 - 2755 73rd Ave SE (Ngamsiripol Prasert)\CADD\Drawings\24610-PS-C1.dwg Layout Name: C1



STABILIZE SOILS:

TEMPORARY COVER MEASURES SHALL BE PROVIDED WHEN NECESSARY TO PROTECT DISTURBED AREAS. THE INTENT OF THESE MEASURES IS TO PREVENT EROSION BY HAVING AS MUCH AREA AS POSSIBLE COVERED DURING ANY PERIOD OF PRECIPITATION. TOPSOIL LAYERS SHALL BE RETAINED AND PROTECTED TO THE MAXIMUM EXTENT FEASIBLE. ANY TOPSOIL THAT IS STOCKPILED ONSITE SHALL BE COVERED TO PREVENT EROSION AND SATURATION, AND SHALL BE REUSED IN LANDSCAPED AREAS UPON COMPLETION OF THE GROUND DISTURBING ACTIVITIES. TEMPORARY COVER SHALL BE INSTALLED IF AN AREA IS TO REMAIN UNWORKED FOR MORE THAN 7 DAYS DURING THE DRY SEASON (MAY 1 TO SEPTEMBER 30) OR FOR MORE THAN TWO CONSECUTIVE WORKING DAYS DURING THE WET SEASON (OCTOBER 1 TO APRIL 30). COVER METHODS INCLUDE THE USE OF SURFACE ROUGHENING, MULCH, EROSION CONTROL NETS AND BLANKETS, PLASTIC COVERING, SEEDING, AND SODDING. MULCH AND PLASTIC SHEETING ARE PRIMARILY INTENDED TO PROTECT DISTURBED AREAS FOR A SHORT PERIOD OF TIME, TYPICALLY DAYS TO A FEW MONTHS. SEEDING AND SODDING ARE MEASURES FOR AREAS THAT ARE TO REMAIN UNWORKED FOR MONTHS. EROSION NETS AND BLANKETS ARE TO BE USED IN CONJUNCTION WITH SEEDING STEEP SLOPES

GENERAL NOTE:

1. LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK ARE NOT PERMITTED BETWEEN OCTOBER 1ST AND APRIL 1ST. ANY WORK THAT IS PROPOSED DURING THE WET SEASON MUST SUBMIT A SEASONAL DEVELOPMENT LIMITATION WAIVER FOR APPROVAL BY THE BUILDING OFFICIAL

PROJECT ENGINEER'S CERTIFICATION:

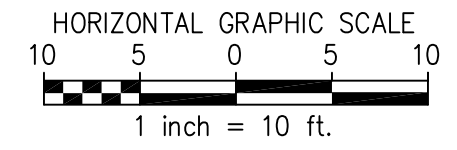
I HEREBY STATE THAT THIS CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN FOR JABOODA HOMES RESIDENCE HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE STANDARD OF CARE AND EXPERTISE WHICH IS USUAL AND CUSTOMARY IN THIS COMMUNITY OF PROFESSIONAL ENGINEERS. I UNDERSTAND THAT THE CITY OF MERCER ISLAND DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE SUFFICIENCY, SUITABILITY, OR PERFORMANCE OF CONSTRUCTION SWPPP BMPS PREPARED BY ME.

INLET PROTECTION NOTE:

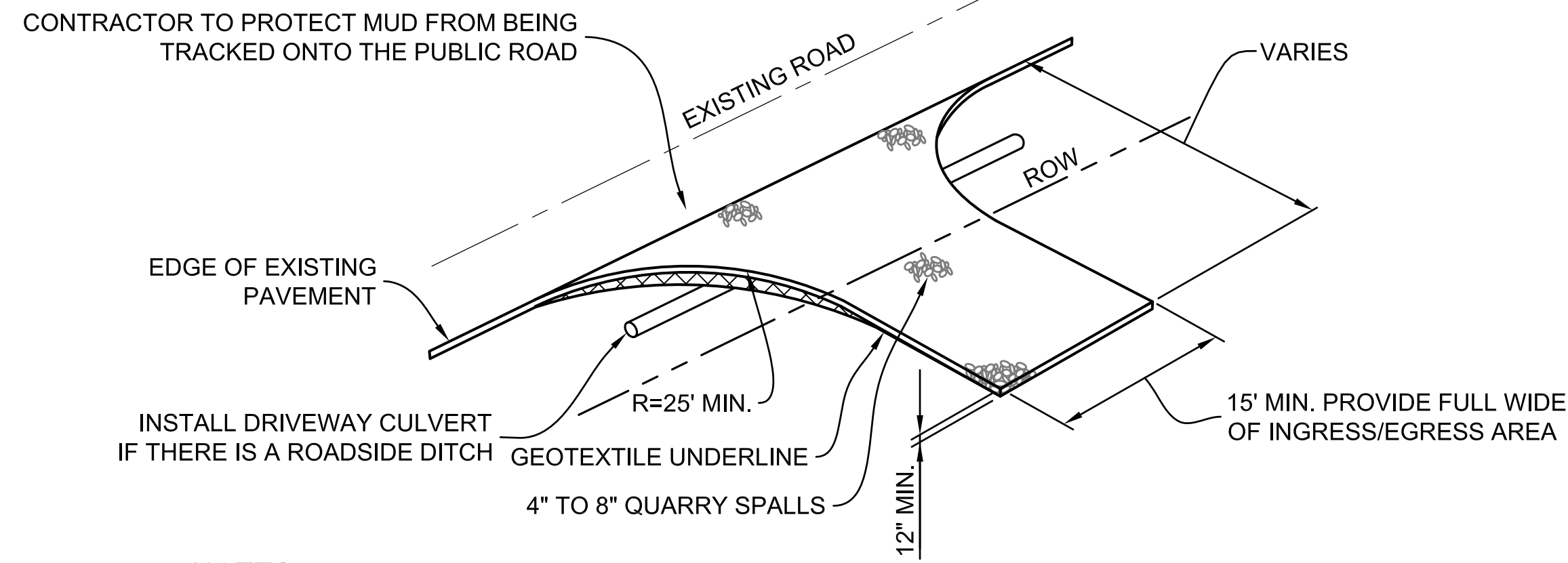
1. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL CATCH BASINS DOWNSTREAM WITHIN 50'

LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - RIGHT OF WAY LINE
- - - RIGHT OF WAY CENTERLINE
- ▭ PROPOSED STRUCTURE



REFERENCE SHEET NO.	C1	SHEET NO.	1 OF 3 SHEETS
NGAMSIRIPOL PRASERT 73RD AVE RESIDENCE MERCER ISLAND, WA 98040 TREE PROTECTION PLAN TESC PLAN			
PBC Land Development and Civil Engineering Consultants 5130 South 166th Lane Seattle, WA 98188 T (206) 229-6422			
ISSUE DATE	1-20-2025	DESIGNED BY:	L. PHAN
JOB NO.	R24610	DRAWN BY:	L. PHAN
REVISION DESCRIPTION		CHECKED BY:	H. H. PHAN
NO.	DATE	PROJ. MNGR:	H. H. PHAN



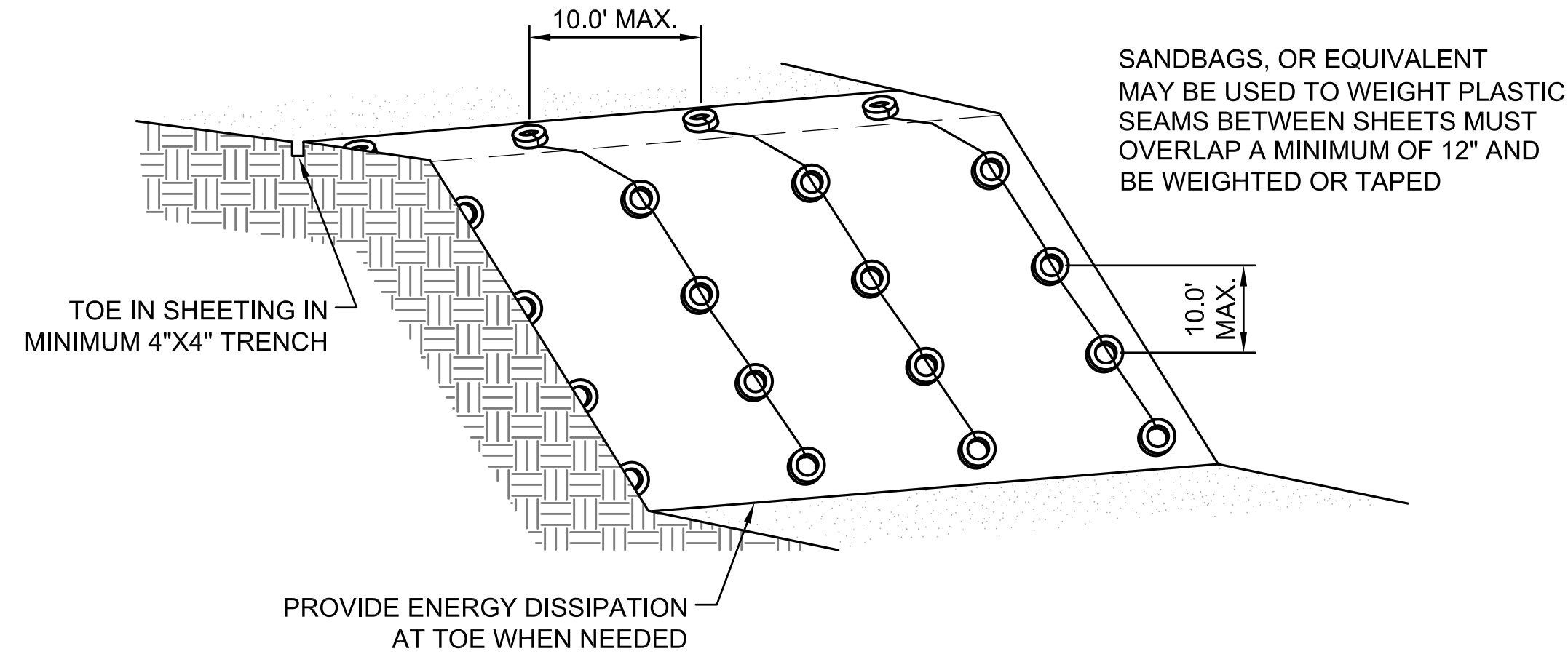
NOTES:

DRIVEWAYS SHALL BE PAVED TO THE EDGE OF RIGHT-OF-WAY PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.

IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE ROAD.

CONSTRUCTION ENTRANCE DETAIL

SCALE: NONE



PLASTIC COVERING DETAIL

SCALE: NONE

TREE PROTECTION AREA (TPZ)

KEEP OUT!

DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

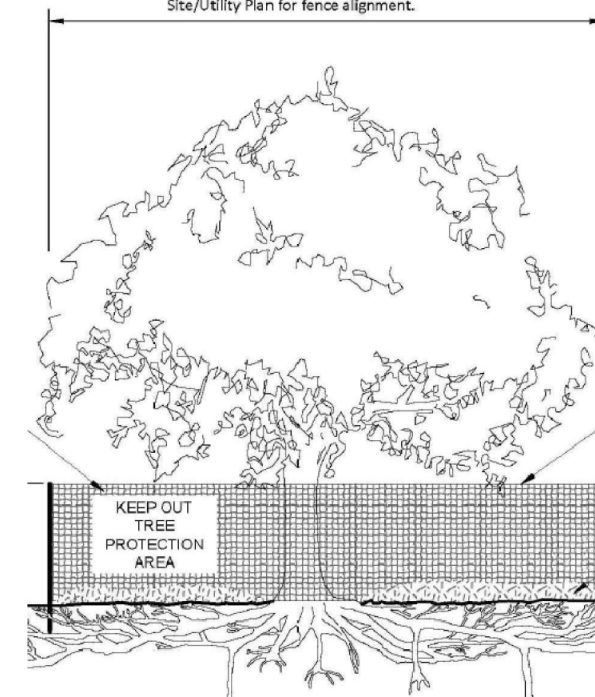
Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees
3. Arborist reports recommending mitigation

Notes

1. No pruning shall be performed unless under the direction of an arborist
2. No equipment shall be stored or operated inside the protective fencing including during fence installation and removal
3. No storage of materials shall occur inside the protective fencing
4. Refer to Site/Utility Plan for allowable modifications to the tree protection area.
5. Unauthorized activities in tree protection area may require evaluation by private arborist to identify impacts and mitigation required
6. Exposed roots: For roots > 1" damaged during construction, make a clean straight cut to remove damaged portion and inform City Arborist

Crown drip line or other limit of Tree Protection area. See Site/Utility Plan for fence alignment.

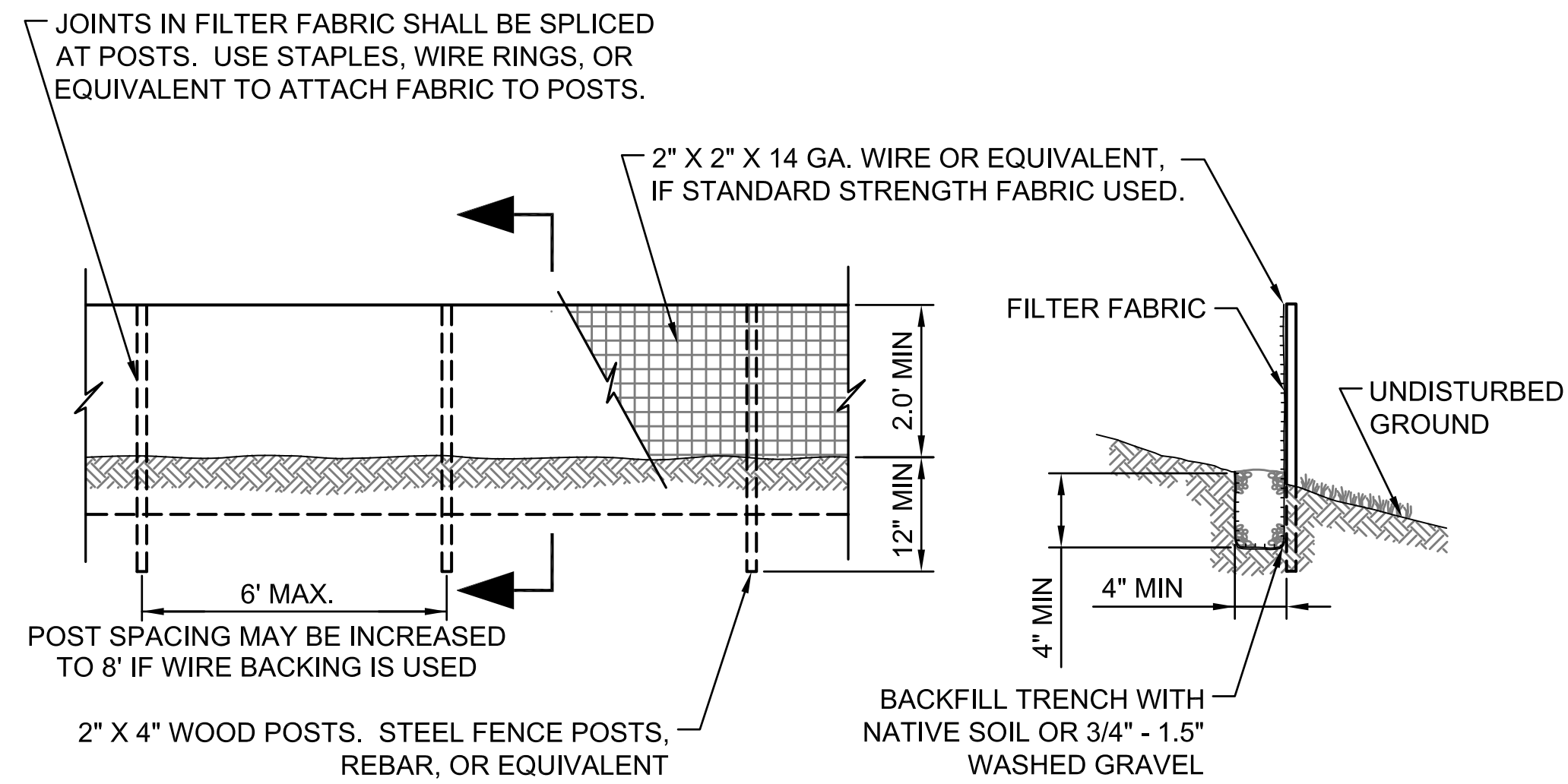


Tree protection fence: 4-6" chain link fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5" x 1.5" openings; color orange. Steel posts installed at 8' o.c.

2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans

Any Work in the protected area must be with the permission of the City Arborist john.kenney@mercergov.org

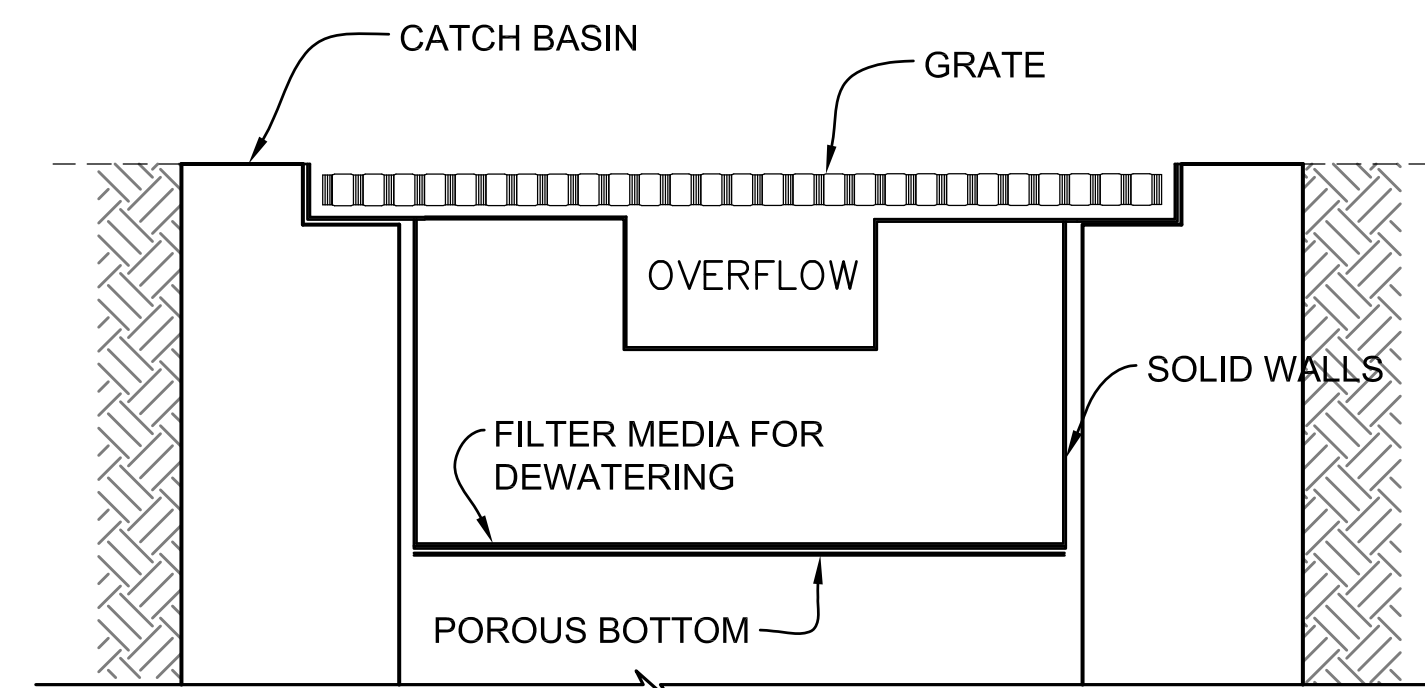


NOTES:

FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

SILT FENCE DETAIL

SCALE: NONE

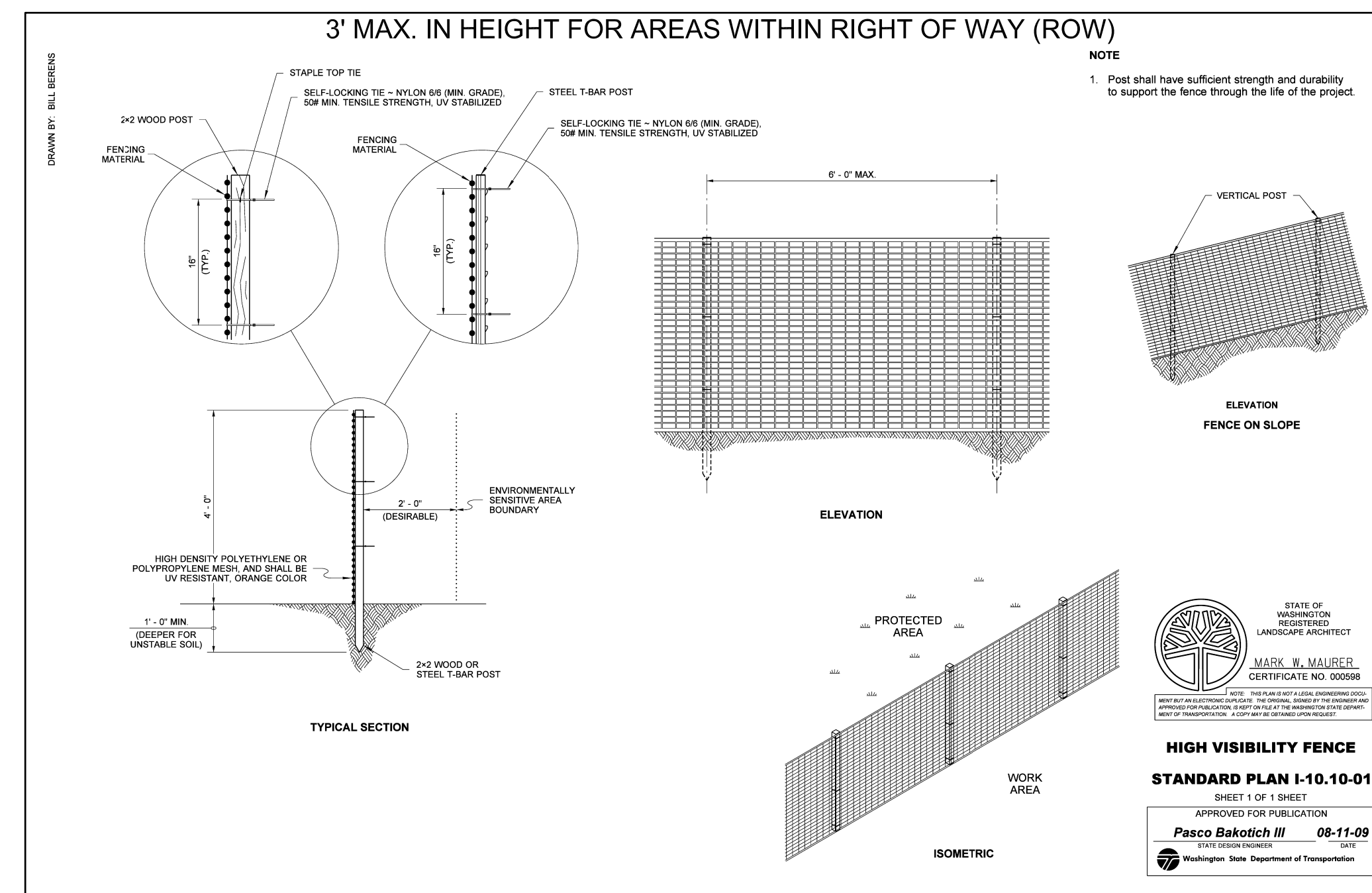


NOTES:

THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 CUBIC FEET OF STORAGE WITH THE MEANS TO DEWATER THE STORED SEDIMENT, PROVIDE AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

INLET PROTECTION DETAIL

SCALE: NONE



HIGH VISIBILITY FENCE

STANDARD PLAN I-10.10-01

SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION

Pasco Bakotich III 08-11-09 DATE

STATE OF WASHINGTON DEPARTMENT OF TRANSPORTATION



REFERENCE SHEET NO. **Q2** SHEET 2 OF 3 SHEETS

NGAMSIRIPOL PRASERT
73RD AVE RESIDENCE
MERCER ISLAND, WA 98040

TESC DETAILS

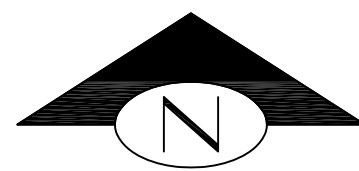
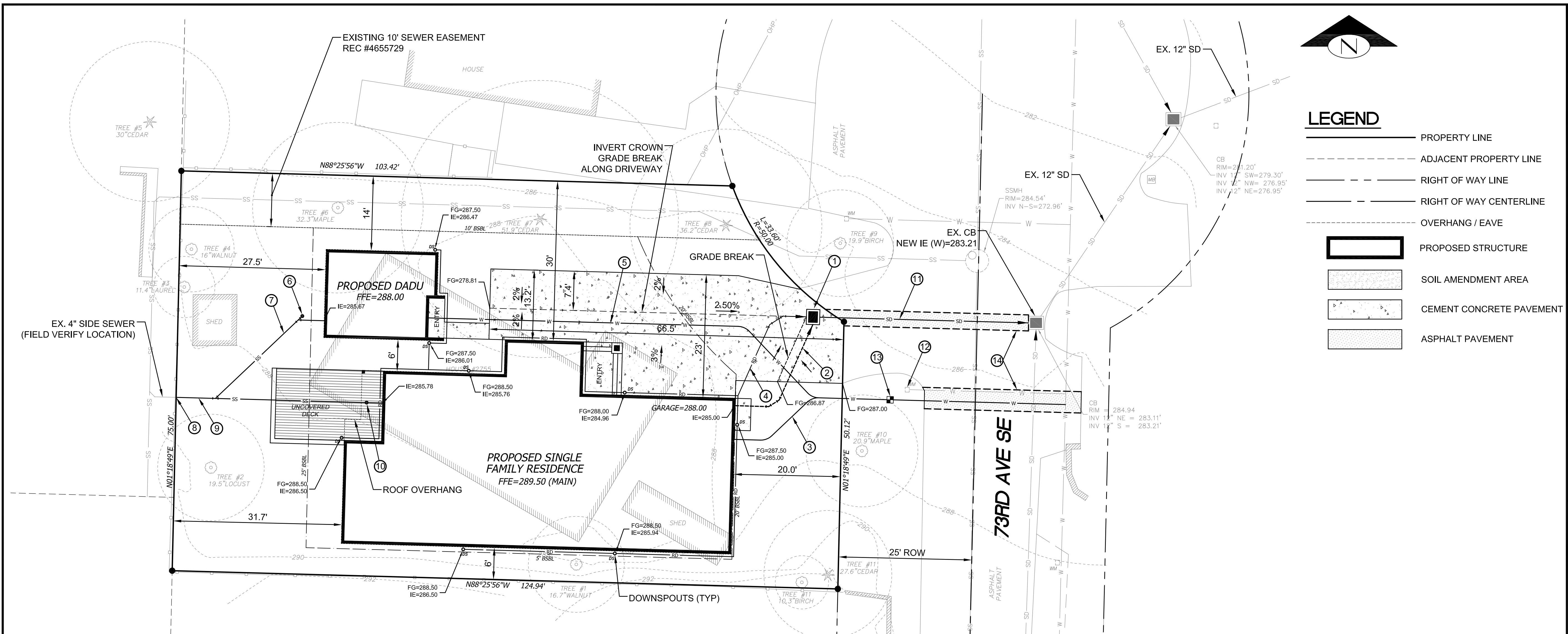


PBC
Land Development and Civil Engineering Consultants
5130 South 166th Lane
Seattle, WA 98188
T (206) 229-6422

ISSUE DATE	1-20-2025
DESIGNED BY:	L. PHAN
DRAWN BY:	L. PHAN
CHECKED BY:	H. H. PHAN
PROJ. MGR:	H. H. PHAN

NO.	DATE	BY	REVISION DESCRIPTION

Jan 22, 2025 7:46am pbgben L:\Working\24610 - 2755 73rd Ave SE (Ngamsiripol Prasert)\CAD\Drawings\24610-PS-C3.dwg Layout Name: Layout1

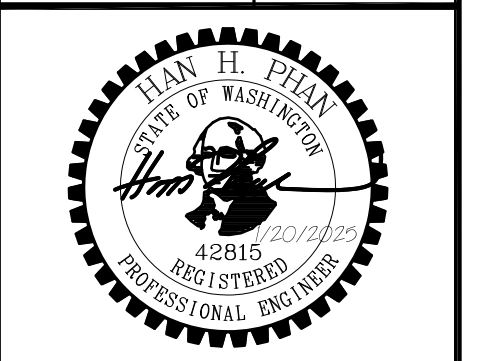


LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- RIGHT OF WAY CENTERLINE
- OVERHANG / EAVE
- PROPOSED STRUCTURE
- SOIL AMENDMENT AREA
- CEMENT CONCRETE PAVEMENT
- ASPHALT PAVEMENT

REFERENCE SHEET NO. **C3**
SHEET **3** OF **3** SHEETS

NGAMSIRIPOL PRASERT
73RD AVE RESIDENCE
MERCER ISLAND, WA 98040
STORMWATER / UTILITY
PLAN AND DETAILS



PBC
Land Development and Civil Engineering Consultants
5130 South 166th Lane
Seattle, WA 98188
T (206) 229-6422

CONSTRUCTION NOTES:

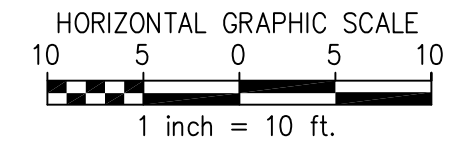
- ① CB #1-TYPE 1 WITH VANED GRATE & OIL SEPARATOR (RISER TEE)
RIM=286.30
IE (E)=283.99
IE (W)=284.10
IE (S)=284.20
- ② 24 LF 4" SOLID SDR 35 PVC FOOTING DRAIN COLLECTOR @ 3.33%
- ③ 32 LF 1" WATER SERVICE LINE (POLYETHYLENE PIPE SDR 7)
- ④ TOAL 234 LF 4" SDR 35 PVC ROOF DRAIN @ 2.00% MIN.
- ⑤ 75 LF 1" WATER SERVICE LINE (POLYETHYLENE PIPE SDR 7)
- ⑥ 4" SSCO #2
IE=285.60
- ⑦ 26 LF 4" SDR 35 SIDE SEWER @ 2.00%
- ⑧ CONNECT TO EX. 4" SIDE SEWER
IE=285.00
(FIELD VERIFY DEPTH)
SEE NOTE 2
- ⑨ 39 LF 4" SDR 35 SIDE SEWER @ 2.00%
- ⑩ 4" SSCO #1
IE=285.72
- ⑪ 39 LF 6" DI SD @ 2.00%
- ⑫ REMOVE EX. WATER METER & ABANDON SERVICE LINE AT THE MAIN
- ⑬ 1" WATER METER WITH 33 LF 1" SERVICE WATER SEE NOTE 1
- ⑭ SAWCUT & PAVEMENT PATCHING DETAILS TO BE APPROVED BY CITY INSPECTOR

SOIL AMENDMENT NOTE:

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

NOTES:

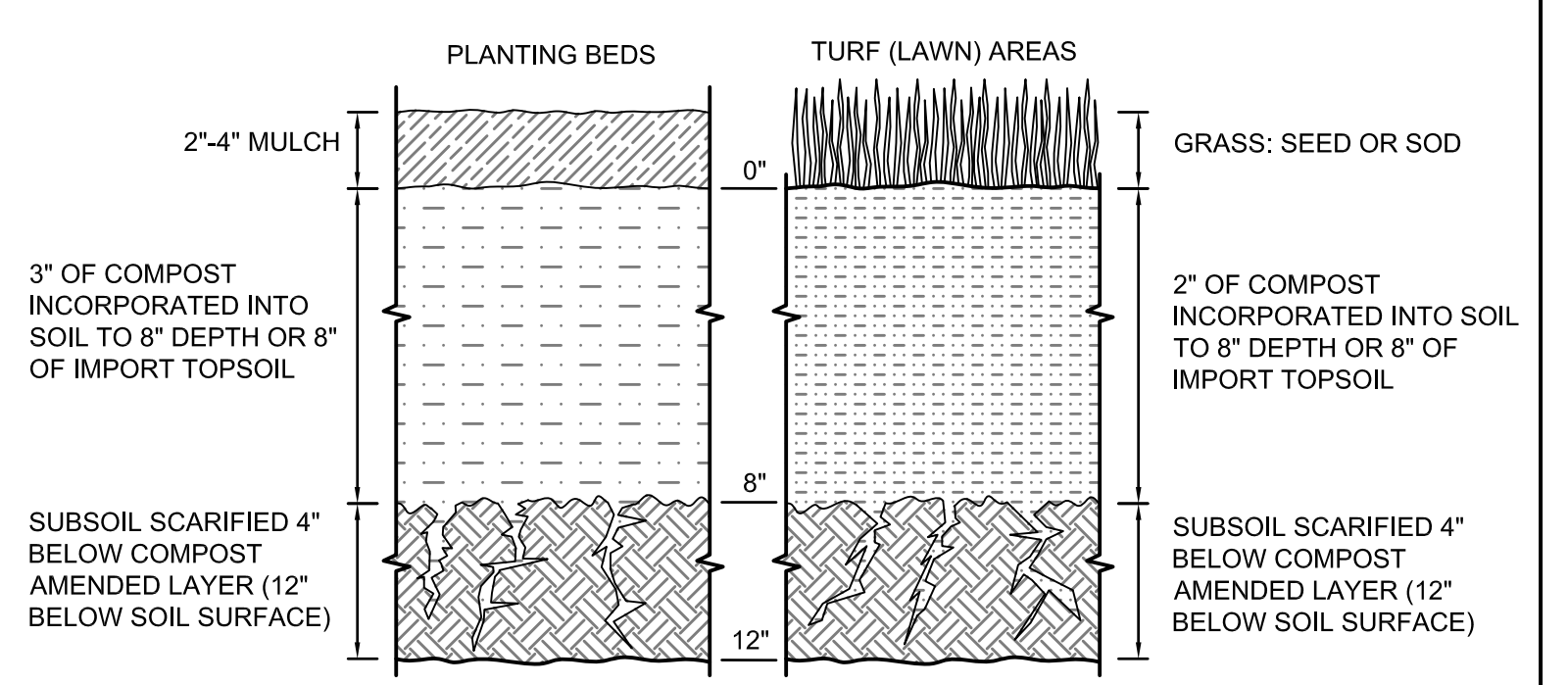
1. NEW WATER METER LOCATE 2' SOUTH OF EXISTING WATER METER AND 9' EAST OF PROPERTY LINE. CONTRACTOR TO FIELD VERIFY THE EXISTING WATER LINE AND COORDINATE WITH CITY WATER DEPARTMENT DURING CONSTRUCTION.
2. THE TV INSPECTOR OF THE EXISTING 4" SIDE SEWER TO THE 6" SIDE SEWER IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.



ESTIMATED COMPOST REQUIRED FOR SOIL AMENDMENT

4,437	(SQUARE FEET) X 0.0062 *** =	28	(CUBIC YARDS)
DISTURBED AREA REQUIRING AMENDMENT		REQUIRED COMPOST	

SOIL AMENDMENT *** 2 INCH LAYER OF COMPOST (FT/12 INCH) X (CY/27 CF) = 0.0062



NO.	DATE	BY	REVISION DESCRIPTION

JOB NO.	ISSUE DATE
R24610	1-20-2025

DESIGNED BY:	DRAWN BY:	CHECKED BY:	PROJ. MGR:
L. PHAN	L. PHAN	H. H. PHAN	H. H. PHAN